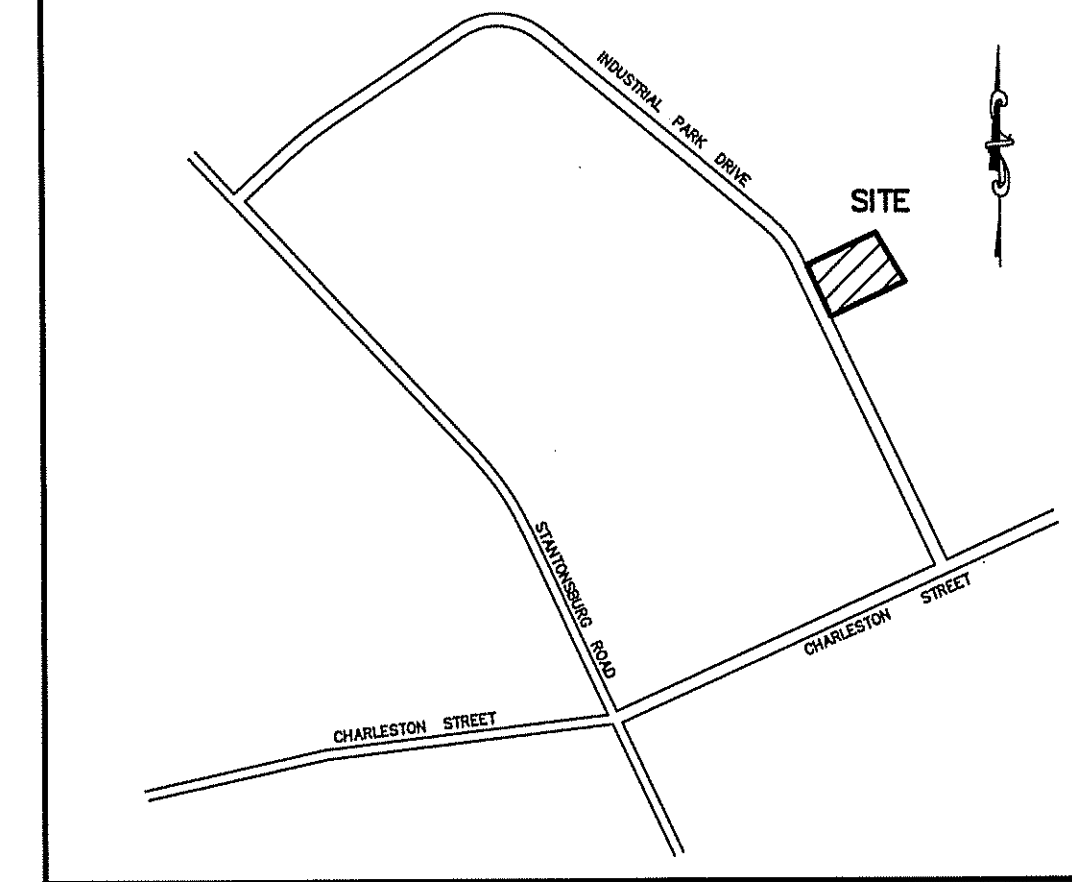
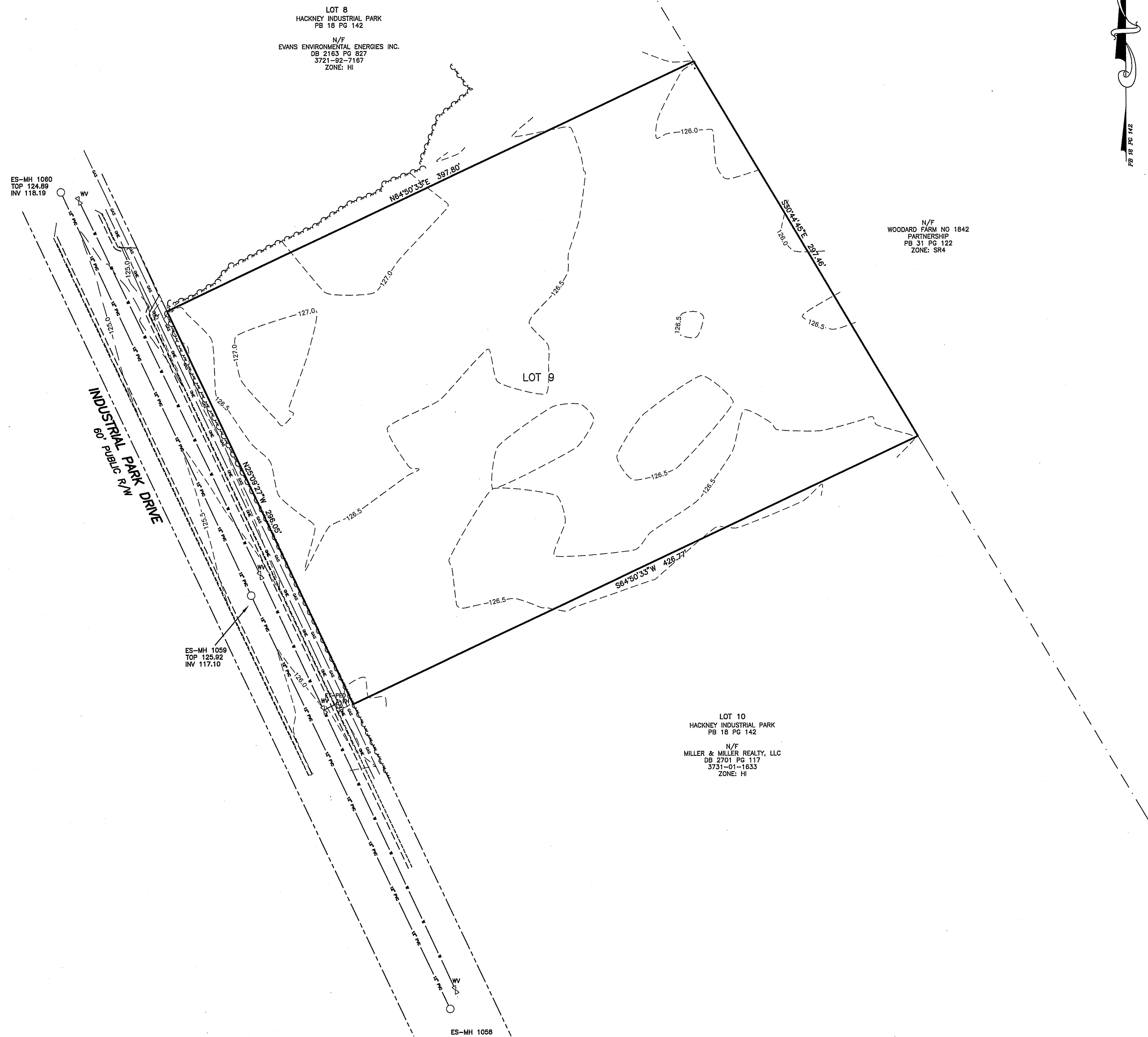


# Hackney Industrial Park Spec Building on Lot #9 - Wilson, NC

## Building Information

Building Type	Industrial	Expandable?	Yes
Business/Industrial Park	Yes	Expandable to (SF)	70,000
Available SF	23750	Docks?	Yes
Site Size (acres)	2.8	Docks with Levelers?	Yes
Min. Ceiling Height	28	Number of Truck Docks	3
Max. Ceiling Height	30	Drive-In Doors?	No
Additional Acreage Available		Number of Drive-In Doors	
Building Size	23750	Parking?	Yes
Divisible?	No	Number of Parking Spaces	TBD
Minimum Subdivide		Parking Paved?	
Zoning		Parking Ratio	
Year Built	2018	Cranes?	No
Current/Previous Use	Shell	Number of Cranes	
Previous Tenant		Air Conditioned?	
Multi-Tenant?		Heated?	
Contiguous Space?		Heat Type	
Max. Contiguous Space		Sprinklered?	
Floor Thickness	6"	Sprinkler Type	
Column Spacing Length	100'	Bay Length	
Column Spacing Width	30'	Bay Width	
Load Bearing Capacity	5# collateral load	Primary Construction Material	Steel with Insulated Panels
Last Expansion (mm/dd/yyyy)		Secondary Construction Material	Steel
Number of Stories	1	Shell/Spec Building?	Yes
Wet Lab Space?			
Clean Room?			
Call Center		<b>Area-Specific SF Breakout</b>	
Data Center		Office Area (SF)	<b>TBD</b>
Ownership		Warehouse Area (SF)	
Building Networked?		Manufacturing Area (SF)	
		Refridgerated Area (SF)	



LOCATION MAP  
NO SCALE

**NOTES**

- AREAS COMPUTED BY COORDINATE CALCULATIONS
- NO GRID MONUMENT FOUND WITHIN 2000'
- ALL DISTANCES SHOWN ARE HORIZONTAL
- ALL RIGHTS-OF-WAY ARE PUBLIC UNLESS NOTED OTHERWISE
- WETLANDS, IF ANY, HAVE NOT BEEN DELINEATED
- THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA
- THIS PROPERTY IS NOT LOCATED IN A PROTECTED WATERSHED AREA
- THERE ARE NO CEMETERIES VISIBLE.
- THIS PROPERTY IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, RESTRICTIVE COVENANTS AND ORDINANCES.
- A TITLE REPORT HAS      HAS NOT X BEEN SUPPLIED FOR THIS PROPERTY OR THIS SURVEY.

- REFERENCES: DEED BOOK 2701 PAGE 117  
PLAT BOOK 18 PAGE 142

**SITE DATA**

TOTAL AREA	2.80 ACRES
TOTAL # LOTS	1
ZONING	HI
MIN. BLDG. LINES	FRONT N/A SIDE N/A REAR N/A
STREET ADDRESS	2303 INDUSTRIAL PARK DRIVE
PIN	3721-91-8867

**EXISTING CONDITIONS:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.

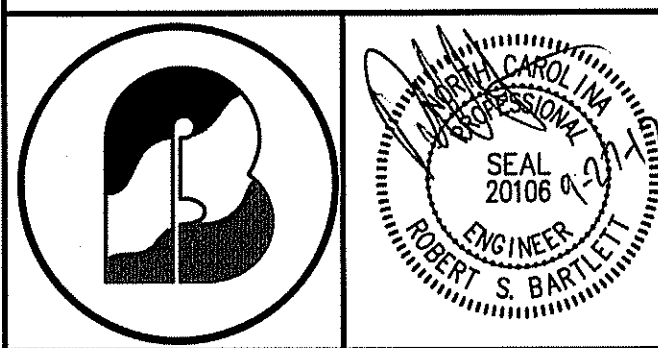
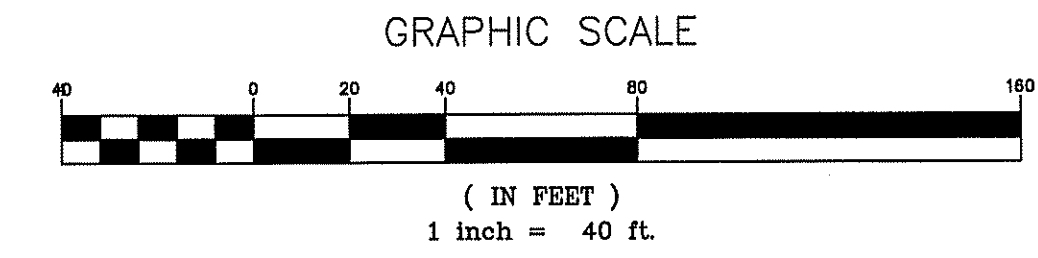
**CONSTRUCTION SAFETY:**

THESE DRAWINGS DO NOT CONTAIN THE REQUIREMENTS FOR JOB SAFETY. ALL PROVISIONS FOR SAFETY SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**GENERAL NOTES:**

WORK WITHIN THE NCDOT RIGHT-OF-WAY SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. CALL ONE CALL CENTER AT 1-800-632-4949 FOR LOCATIONS OF EXISTING UTILITIES PRIOR TO EXCAVATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.



**BARTLETT**  
ENGINEERING & SURVEYING, PC  
1906 NASH STREET NORTH  
WILSON, N.C. 27893-1726  
License No. C-1551  
TELE: (252) 399-0704  
FAX: (252) 399-0804  
www.bartlett.us.com

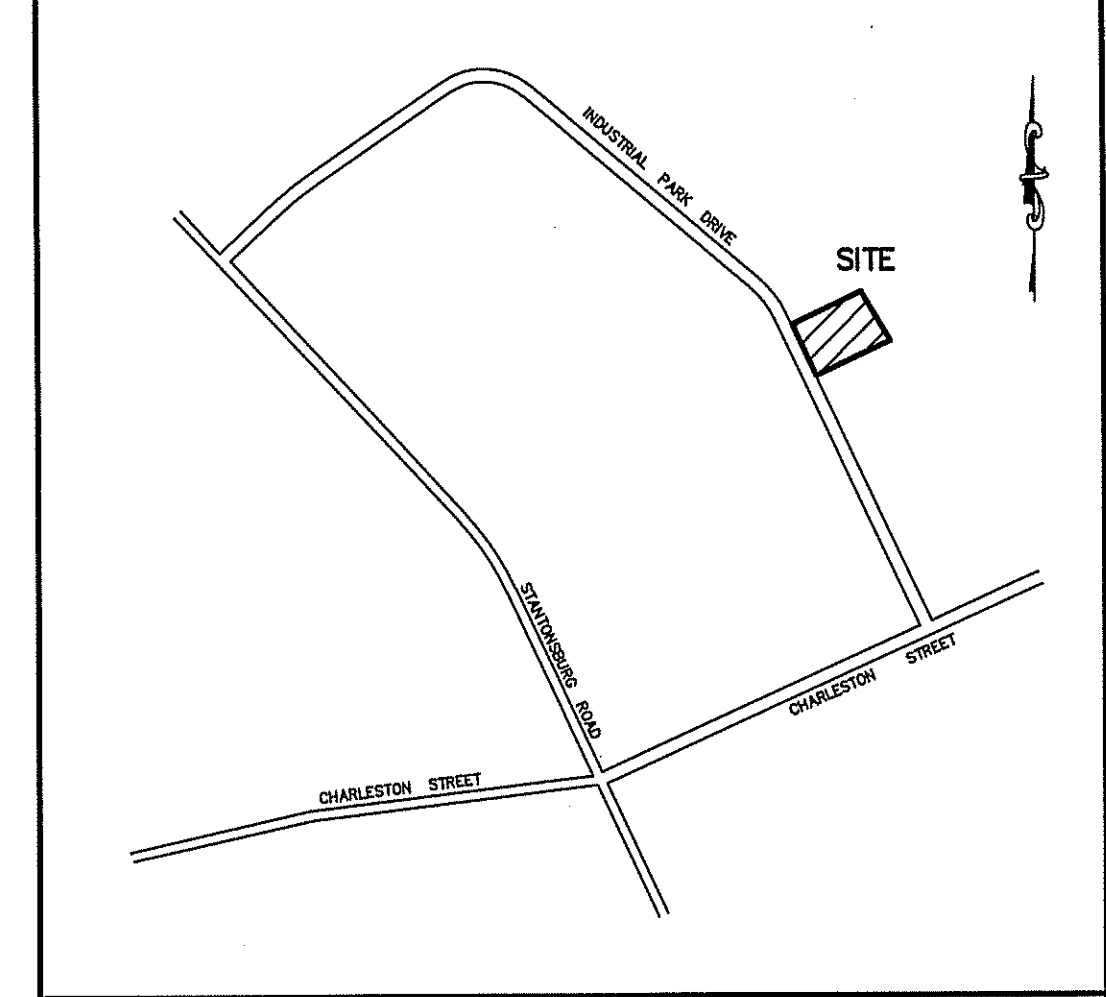
**EXISTING  
CONDITIONS**

**HACKNEY INDUSTRIAL PARK**  
- 2303 INDUSTRIAL PARK DRIVE SE, LOT 9 -

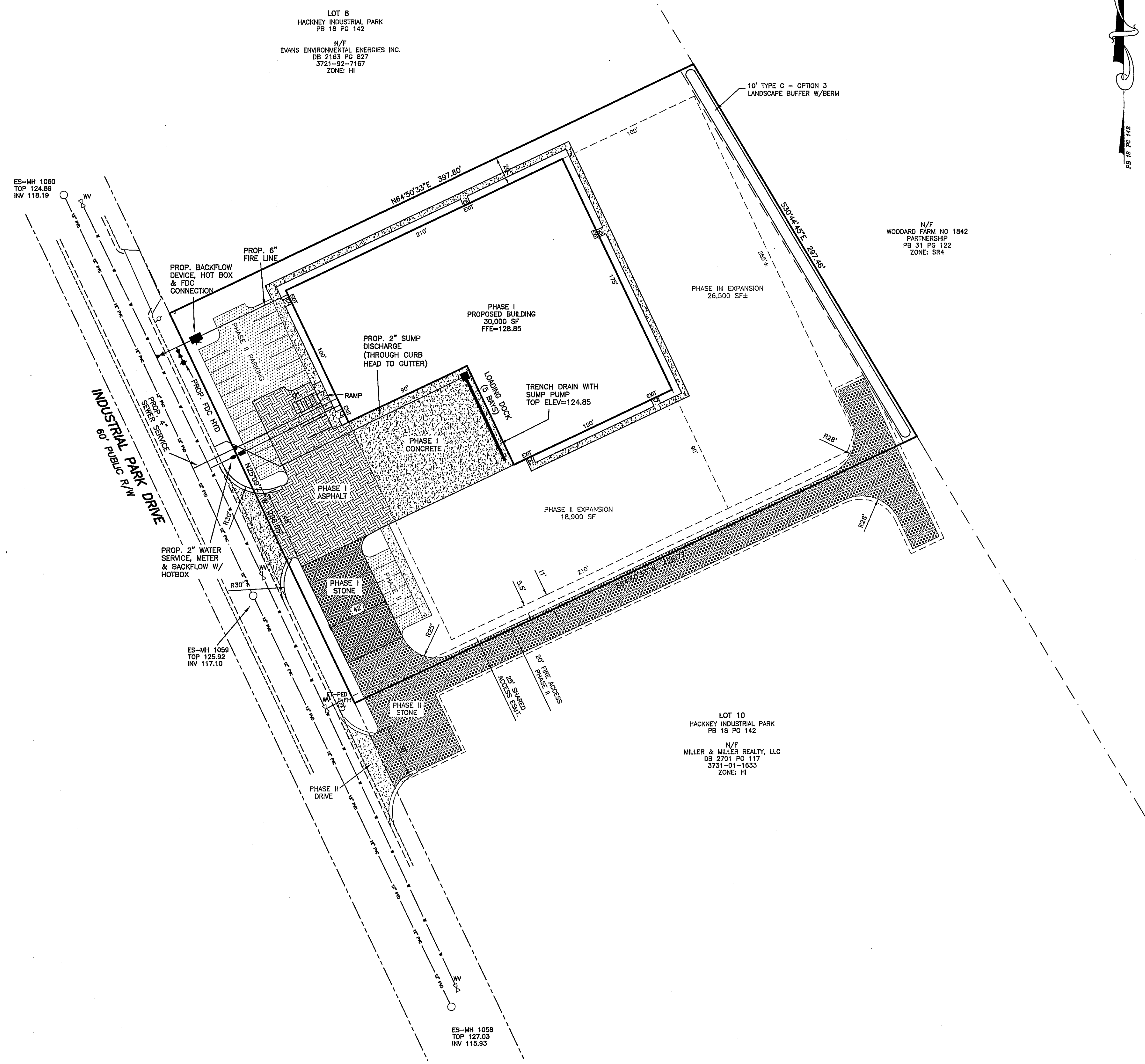
DATE: SEPT. 2017  
SCALE(HORZ): 1" = 40'  
SCALE(VERT):  
REVISIONS:

PROJECT: 17-253  
CLIENT CODE: HILBRO  
CADFILE: 17253SP1  
FIELD BOOK:  
DRAWN BY: LR  
SURVEY BY:  
CITY OF WILSON WILSON COUNTY  
NORTH CAROLINA ZONE: HI  
PIN # SHEET SP1

PLANNING PROJECTS VILBRO V17253.dwg V17253SP1.dwg Sep 27, 2017 10:30AM EST PC2-1008



LOCATION MAP  
NO SCALE



- LEGEND**
- IRON PIPE FOUND
  - IRON REBAR FOUND
  - MASONRY NAIL FOUND
  - MAGNETIC NAIL FOUND
  - EXISTING HYDRANT
  - EXISTING WATER METER
  - EXISTING HOTBOX
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING SANITARY SEWER MAHOLE
  - EXISTING SANITARY SEWER CLEANOUT
  - EXISTING BOLLARD
  - EXISTING LIGHT POLE
  - EXISTING UTILITY POLE
  - EXISTING GUY WIRE
  - EXISTING TRANSFORMER
  - EXISTING CATCH BASIN
  - EXISTING DROP INLET

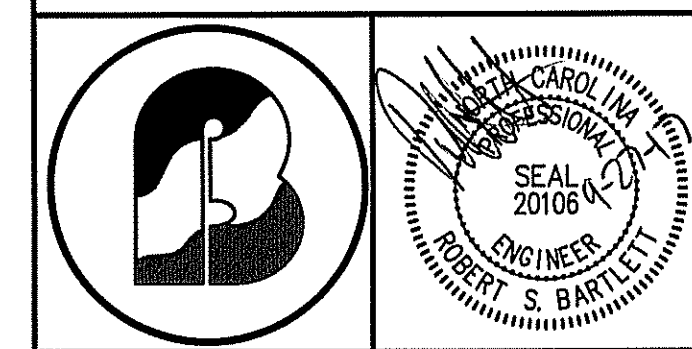
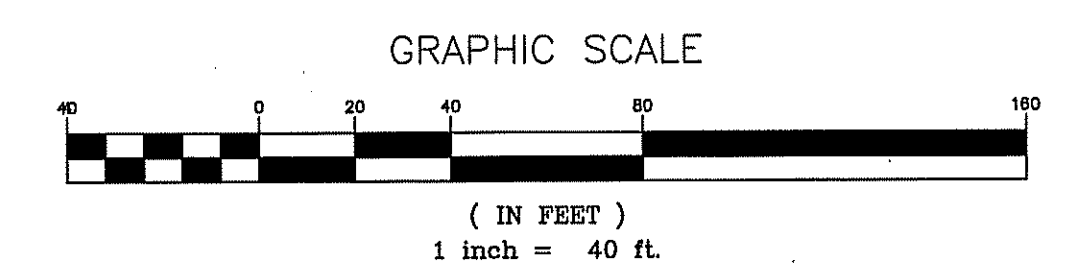
- PROPOSED LEGEND**
- PROPOSED CONCRETE
  - PROPOSED STONE (8" CABG)
  - PROPOSED ASPHALT
  - FUTURE ASPHALT
  - FUTURE STONE

**SITE DATA**

TOTAL AREA	2.80 ACRES (122,057 SF)
TOTAL # LOTS	1
ZONING	HI
MIN. BLDG. LINES	FRONT N/A SIDE N/A REAR N/A
BUILDING AREA:	30,000 SF (PHASE I) 21,000 SF (PHASE II) 27,450 SF (PHASE III)
PROPOSED IMPERVIOUS AREA:	49,923 SF± (41%) - PHASE I 27,427 SF± (22%) - PHASE II 25,674 SF± (21%) - PHASE III
No. PARKING SPACES REQ'D:	NO REQUIREMENT
No. PARKING SPACES: (PHASE I)	2-9'x18' 1-9'x18' HC 3-TOTAL
MAX. BUILDING HEIGHT:	30'
PROPERTY ADDRESS:	2303 INDUSTRIAL PARK DRIVE SE
PROPOSED LAND USAGE:	STORAGE WAREHOUSE (S1)
PARCEL ID No.:	3721-91-8867
OWNER:	MILLER & MILLER REALTY, LLC PO BOX 7036 WILSON, NC 27895
REFERENCES:	DEED BOOK 2701 PAGE 117 PLAT BOOK 18 PAGE 142

**SITE NOTE:**  
ADMINISTRATOR HAS GIVEN EXEMPTION FOR LOADING DOCK SCREENING REQUIREMENT, 8.8.1. PHASE II & III EGRESS DOORS AND SIDEWALKS TO BE DETERMINED AT THE TIME FUTURE PHASE IS CONSTRUCTED.

**GAS NOTES:**  
THERE SHOULD BE A MINIMUM OF 1 FT CLEARANCE BETWEEN THE EXISTING GAS MAIN AND ANY NEW UTILITIES INSTALLED FOR THIS SITE.  
THERE MUST BE A MINIMUM OF 2 FT OF SUITABLE FILL BETWEEN THE GAS SERVICE AND ANY ROCK/CONCRETE/ASPHALT.  
SHOULD NATURAL GAS SERVICE BE DESIRED, PLEASE REQUEST AS EARLY AS POSSIBLE TO ALLOW AMPLE TIME FOR INSTALLATION PRIOR TO THE INSTALLATION OF ANY ROCK/CONCRETE/ASPHALT. AN NCDOT ENCROACHMENT WILL BE REQUIRED.  
IF A GAS SERVICE IS REQUESTED, THE PLUMBING/HVAC CONTRACTOR MUST E-MAIL OR FAX THE BTU'S PER APPLIANCE AND THE DELIVERY PRESSURE REQUIRED TO THE GAS DIVISION PRIOR TO THE INSTALLATION OF THE GAS SERVICE.



**BARTLETT**  
ENGINEERING & SURVEYING, PC  
1906 NASH STREET NORTH  
WILSON, N.C. 27893-1726  
License No. C-1551

TELE: (252) 399-0704  
FAX: (252) 399-0804  
www.bartlett.us.com

**SITE and UTILITIES PLAN**

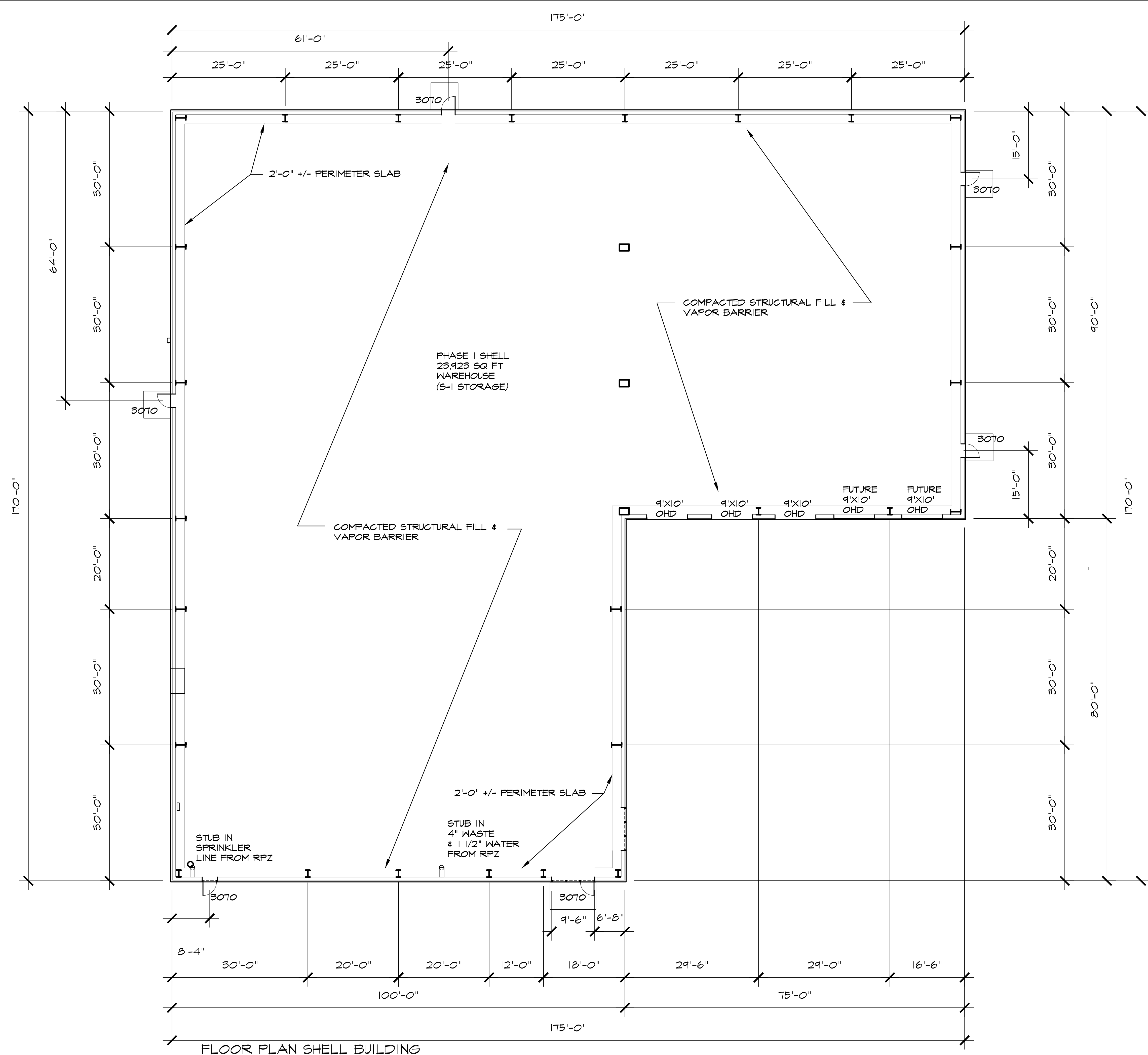
**HACKNEY INDUSTRIAL PARK**  
- 2303 INDUSTRIAL PARK DRIVE SE, LOT 9 -

DATE: SEPT. 2017  
SCALE(HORZ): 1" = 40'  
SCALE(VERT):  
REVISIONS:

PROJECT: 17-253  
CLIENT CODE: HILBRO  
CADFILE: 17253SP1  
FIELD BOOK:  
DRAWN BY: LR  
SURVEY BY:

CITY OF WILSON	WILSON COUNTY
NORTH CAROLINA	ZONE: HI
PIN #	SHEET SP2

PLANNING & SURVEYING, INC. 17253 SP1.dwg, Sep 27, 2017 8:28:01 AM EST



FLOOR PLAN SHELL BUILDING

SCALE: 3/32" = 1'-0"

APPROVALS



ISSUED FROM:  
 WILSON ARCHITECTURE  
 213 East Nash Street  
 Wilson, NC 27893  
 Phone: 252.239.2700  
 Fax: 252.239.2701  
 WILSON OFFICE  
 213 East Nash Street  
 Wilson, NC 27893  
 Phone: 252.239.2700  
 Fax: 252.239.2701

**HOOD • HERRING**  
 ARCHITECTURE  
 PLLP  
 These documents are instruments of service & as such are the property of the Architects. Reproduction without written permission is prohibited.

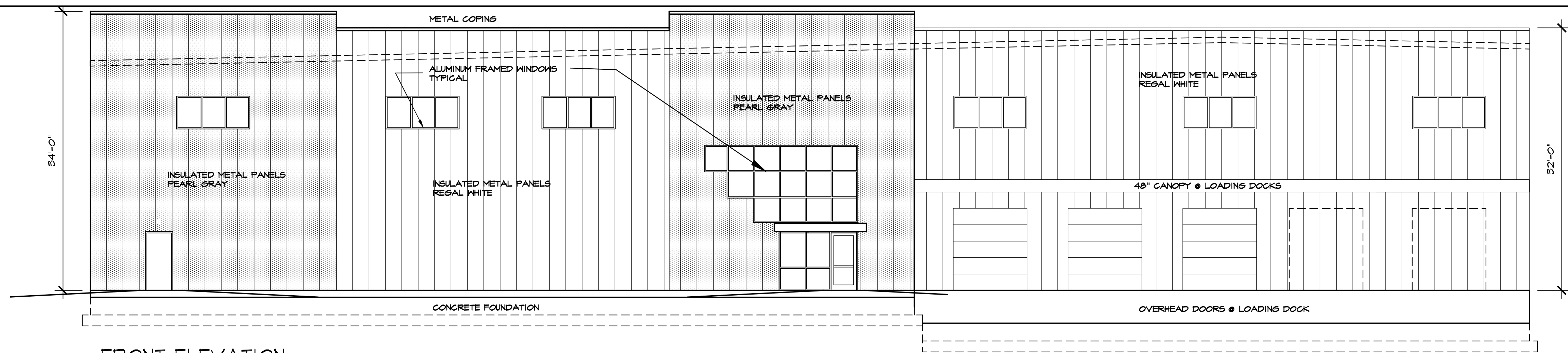
**SHELL BUILDING**  
 HACKNEY INDUSTRIAL PARK  
 2303 INDUSTRIAL PARK DRIVE SE  
 WILSON, NORTH CAROLINA

JOB NUMBER  
 XXX  
 DRAWN BY  
 JCH/LJR  
 DATE  
 10/20/17  
 REVISIONS  
 2/7/18

SHEET NUMBER

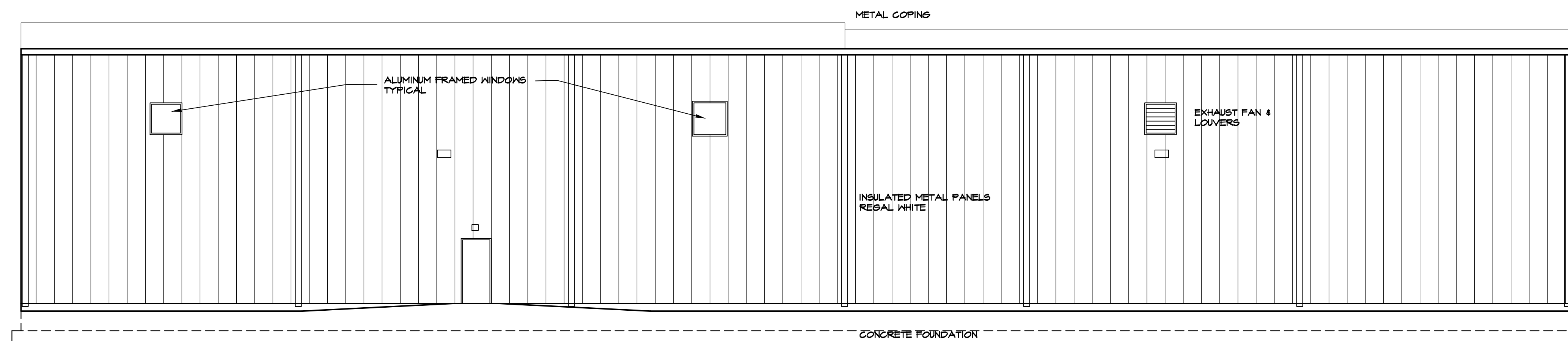
**A-1**

OF



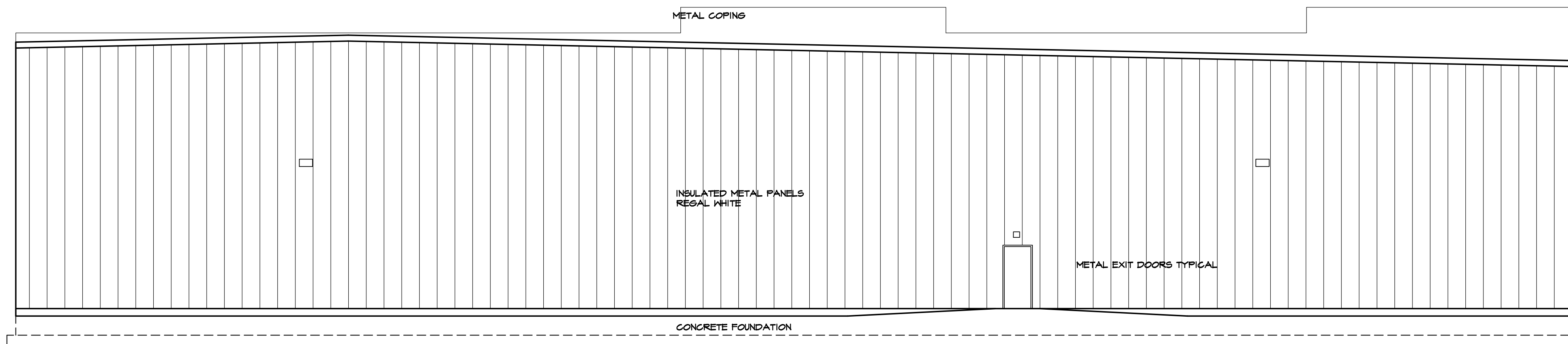
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



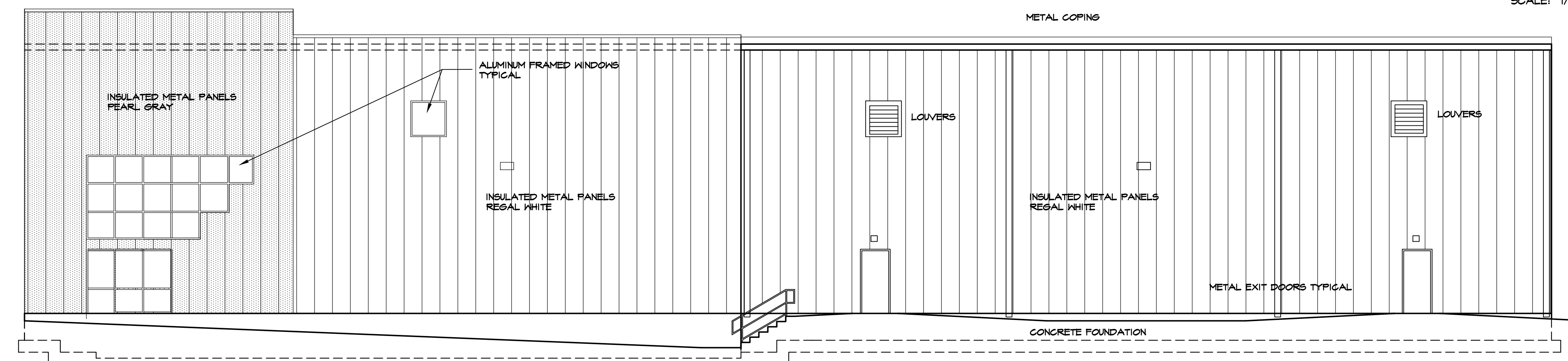
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

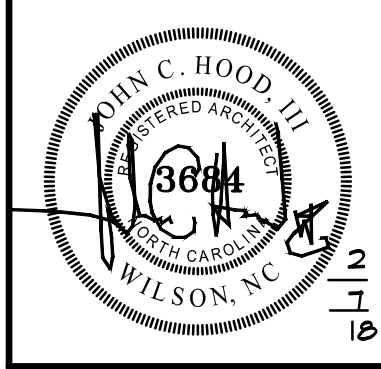
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

APPROVALS



ISSUED FROM:  
 WASHINGTON OFFICE  
 805 Washington Blvd.  
 Wilmington, NC 28401  
 Phone: 910.251.9999  
 Fax: 910.251.9999  
 WILSON OFFICE  
 211 East Nash Street  
 Wilson, NC 27893  
 Phone: 252.399.2700  
 Facsimile: 252.399.2700

**HOOD • HERRING**  
 ARCHITECTURE  
 PLLP  
 These documents are instruments of service & as such are the property of the Architects.  
 Reproduction without written permission is prohibited.

**SHELL BUILDING**  
 HACKNEY INDUSTRIAL PARK  
 2303 INDUSTRIAL PARK DRIVE SE  
 WILSON, NORTH CAROLINA

JOB NUMBER  
 XXX  
 DRAWN BY  
 JCH/LJR  
 DATE  
 10/20/17  
 REVISIONS  
 2/7/18

SHEET NUMBER  
**A-2**  
 OF